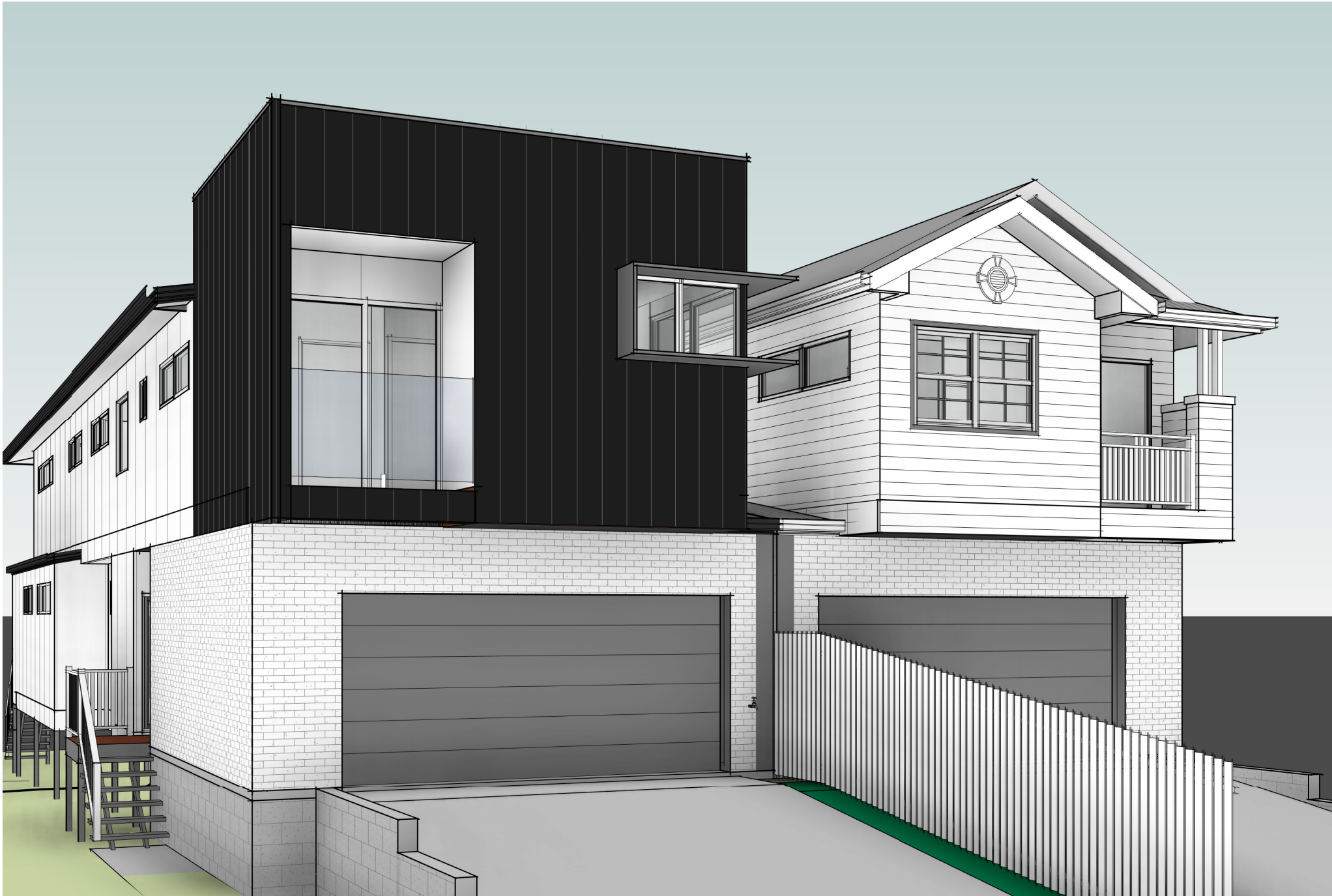


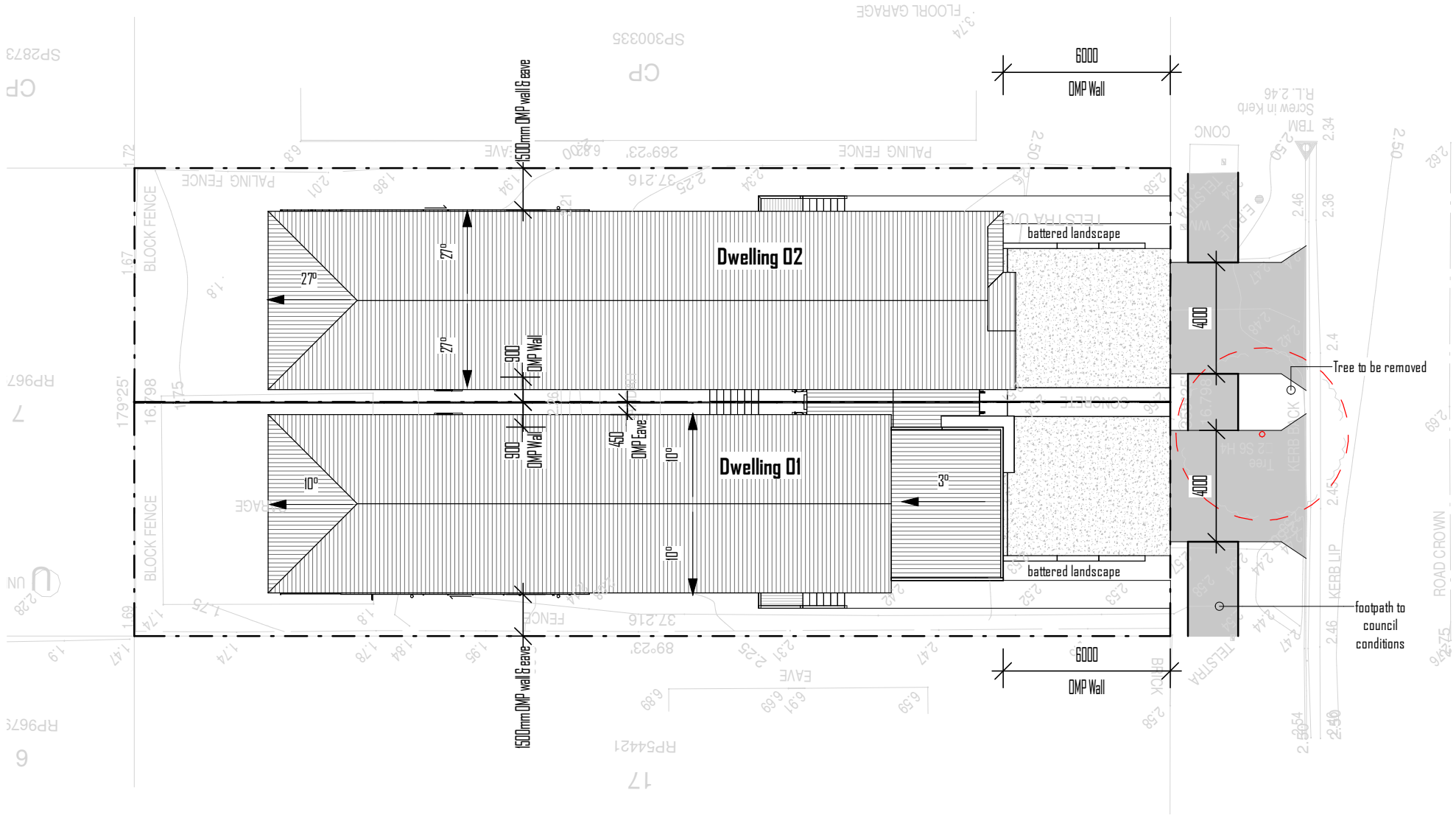
60 Jamieson Street, Bulimba

Amoeba Infinity Pty Ltd



Drawing List	
000	Cover Sheet
050	Proposed Site Plan
060	Sub-Division Plan
100	Ground Floor Plan
101	First Floor Plan
200	Elevations
201	Elevations
202	Elevations
300	Sections

LODGED
21/10/2019
BCC DS



Site Plan - Proposed
1 : 200

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21/10/2019
BCC DS



ELEVATE

DESIGN STUDIO

Unit 21, 8 Metroplex Ave Murarrie, Qld, 4172 T: 3914 9249

QBCC: 15078717 ACN: 136 645 700

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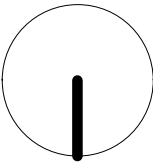
Real Property Description			
Lot No:	18	Area:	624m ²
Plan No:	RP54421		
Ward:	BULUMBA		
County:	STANLEY		
Authority:	BCC		

Revision Schedule			
Revision	Date	Revision Description	
2	18.09.19	DA Review	
3	20.09.19	DA Issue	
4	23.09.19	DA Updates	
5	27.09.19	Floorplan Changes	
6	09.10.19	DA Issue	

Drawn By	Project	
	Dual Occupancy	
	for	
	Amoeba Infinity Pty Ltd	
	at	
	60 Jamieson Street, Bulimba	

Drawing Title:		
Proposed Site Plan		
Page No:	Revision:	Job No:
050	F	19044

Scale at A3 :
1 : 200
Checked:
SF
Wind Rating:
N2 (W33N)



Stormwater Note

Downpipes to connect to stormwater lines or to street.
Builder/Roof Plumber is ensure that all gutters/downpipes comply with NCC Vol. 1 Part 3.5.
Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.

Data Supply Note

Contours and site data supplied by surveyor. Services shown hereon have been located where possible by survey.

Fire Ant Note

Prior to any removal of soil on site, builder to check fire ant regulation zone.

Services Notes

Location of service items (eg. meter box, gas meter) subject to confirmation of site service pits.

Site Cover

Site Area: 624 m²
Site Cover: 308 m² = 49 %

Building Details

Building Class - I
Rise in Storeys - 2
Type Of Construction - N/A

QDC Requirements

Builder must be aware of all sections of the relevant Queensland Development Codes for this structure. The above notes are a summary only and do not contain all of the requirements.
Refer to <http://www.hpw.qld.gov.au/construction/BuildingPlumbing/Building/LawsCodes/QueenslandDevelopmentCode> for a list of all current parts of the Codes

Building and Design Notes

Building regulatory legislation as per the Queensland 'Building Act 1975'.
Structural sufficiency, safety, health and amenity shall be achieved in accordance with the National Construction Code of Australia (NCC) and relevant Australian Standards (AS).
All building works to comply with local authorities erosion and sediment control standards.
Timber framing shall be designed and constructed in accordance with AS1684.2 and AS1684.4 - Non-Cyclonic Areas and AS1684.3 Cyclonic Areas.
Masonry construction to comply with NCC Vol.2 Part 3.3 and AS3700.
External walls to achieve R2.0, roofs to achieve R2.5.
Roof and wall cladding to comply with NCC Vol.2 Part 3.5.
Gutters and downpipes to comply with NCC Vol.2 Part 3.5.
All downpipe locations, underground services (stormwater, etc.) to be located before construction commences.
Fire safety in accordance with NCC Vol.2 Part 3.7.
Provision of fire protection to penetrations for services to comply with NCC Vol.1 Part C3.12 to C3.16.
Provision of fire extinguishers to comply with the requirements of AS2444.
Position of smoke alarms within units to comply with NCC Vol.2 Part 3.7.2.
Wet areas to comply with NCC Vol.2, Part 3.8.1 and AS 3730.
Door to sanitarities compartments on the ground floor to be readily operable from the outside.
Shower screens to be installed in accordance with AS2047 and AS1288.
Internal stair construction and balustrades in accordance with NCC Vol.2 Part 3.9.
Door handles to required exits to be lever action complying with the requirements of NCC Vol.2 Part D2.21.
Energy efficiency in accordance with NCC Vol.2 Part 3.12 and external consultants report where applicable.
Light and ventilation in accordance with NCC Parts 3.8.4 and 3.8.5 plus relevant AS.
Glazing to be in accordance with AS1288 and AS2047 and BCA Vol. 2 Part 3.6.
Sound insulation in accordance with NCC Vol.2 Part 3.8.6 and external consultant where applicable.
External ground levels adjacent to building shall be in accordance with NCC Vol.2 Part 3.12.3.
Sewer work to be carried out in accordance with local authorities requirements.
Builder to provide final clearance certificate From local authority.

Site Notes

Contours and levels shown are provided by a licensed Surveyor
Topography shown is based on an assumed datum point
All survey pegs are to be located prior to earthworks
Surface water to be drained away from dwelling (provide a 1:20 min. fall)
Unless noted otherwise, removal of existing trees and construction of retaining walls, where required, shall be provided by the owner
Maximum batters shall occur as follows:-
(i) cut - 1:1
(ii) fill - 1:2
(iii) vehicular access - 1:4
The working PAD R.L. noted on the site plan shall have a tolerance of up to +/- 100mm

DA Issue



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QBCC: 15078717 ACN: 136 645 700
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Real Property Description			
Lot No:	18	Area:	624m ²
Plan No:	RP54421		
Ward:	BULUMBA		
County:	STANLEY		
Authority:	BCC		

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Revision	Date	Revision Description	
2	18.09.19	DA Review	
3	20.09.19	DA Issue	
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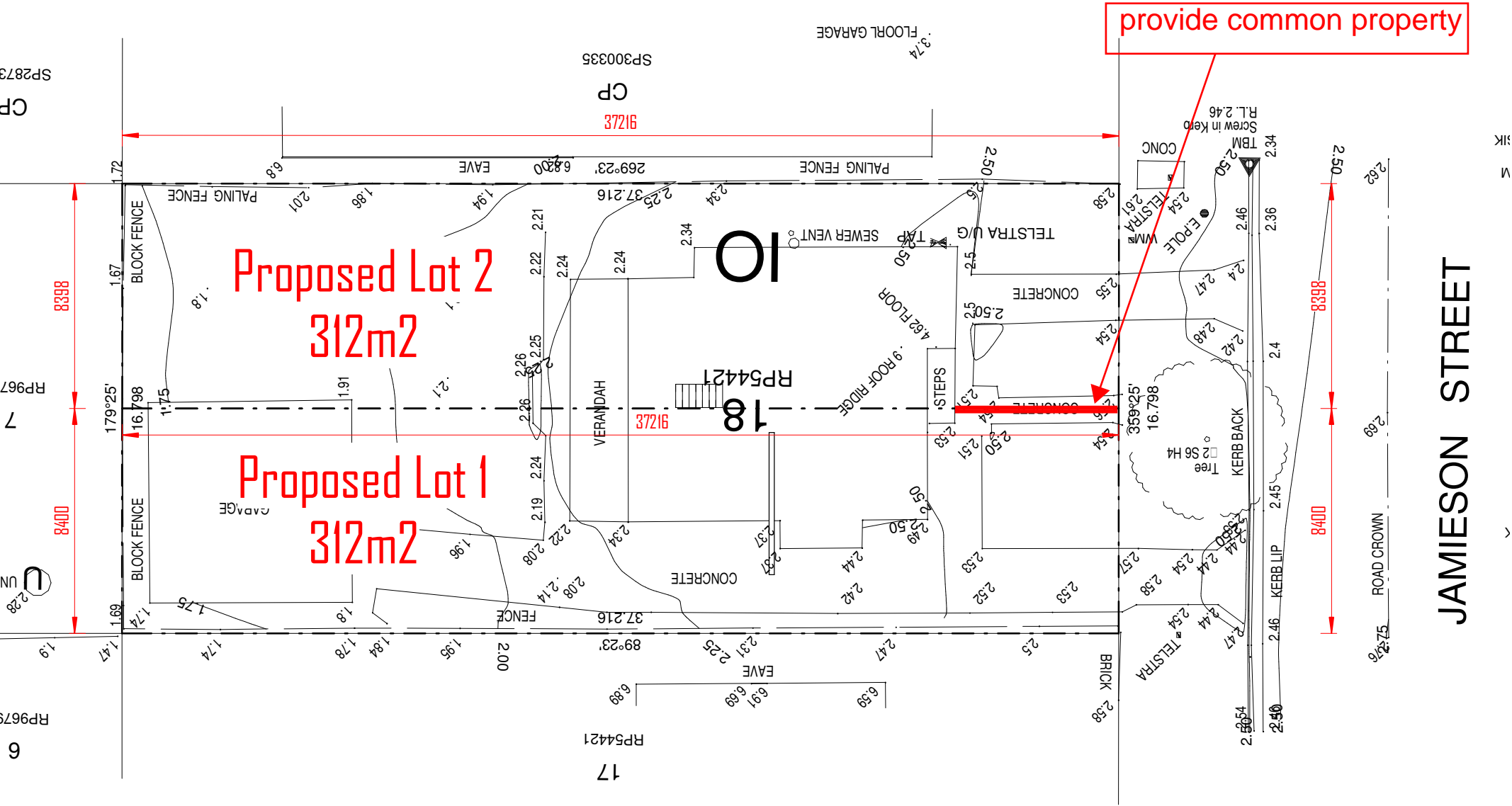
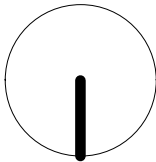
Drawn By
AT
AT
AT
AT
Steven

Project
Dual Occupancy
for
Amoeba Infinity Pty Ltd
at
60 Jamieson Street, Bulimba

Drawing Title:
Sub-Division Plan
Page No: **060** Revision: **F** Job No: **19044**

Scale at A3:
1:200
Checked:
SF
Wind Rating:
N2 (W33N)

DA Issue



Proposed Subdivision Plan

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21/10/2019
BCC DS

LODGED

21/10/2019

BCC DS

Insulation Note

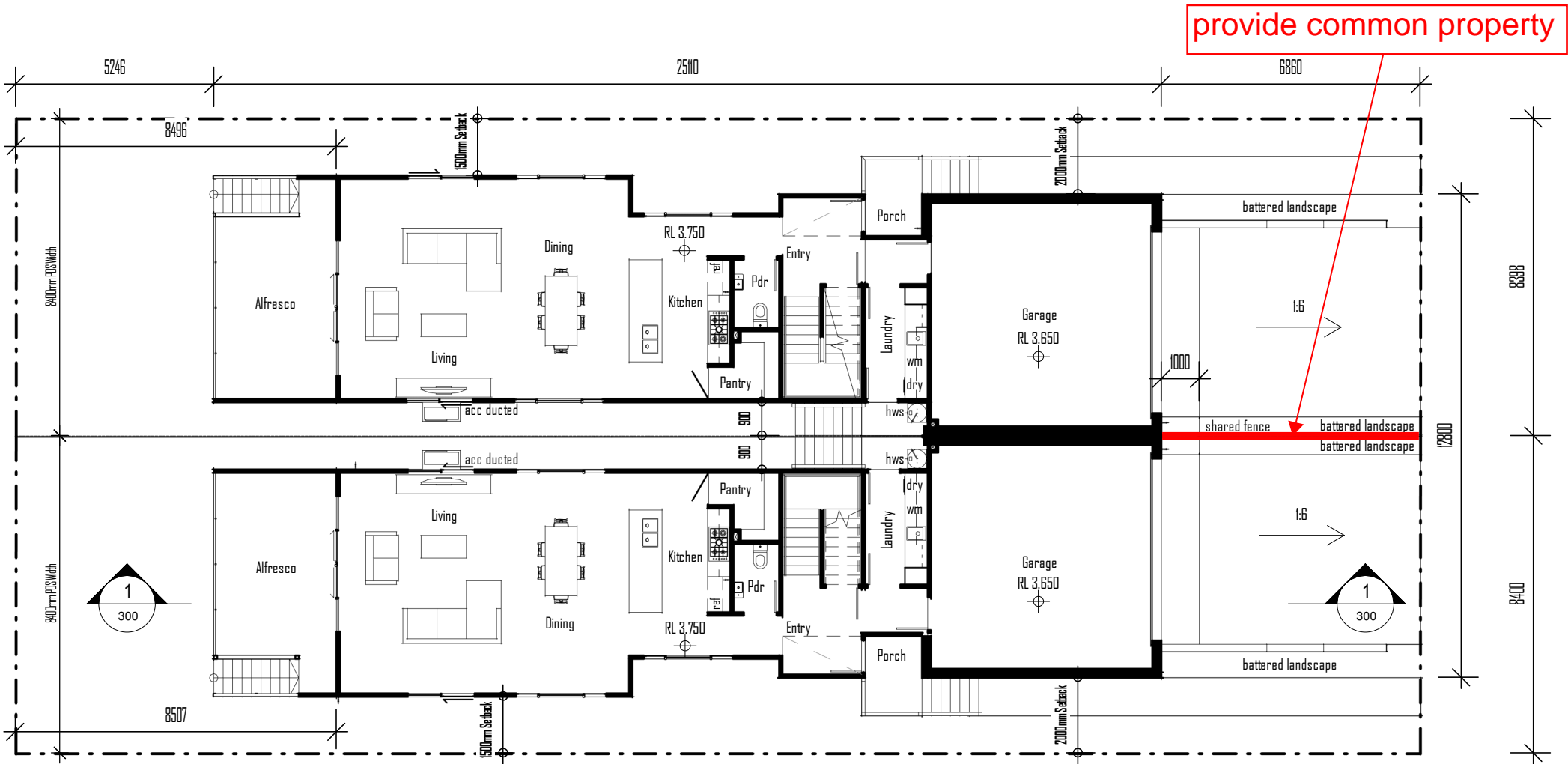
CSR Bradford R3.0 bulk insulation or equivalent to roof spaces above ceiling.
Sarking required below roof sheeting or tiles.
CSR Bradford R2.0 bulk insulation or equivalent membrane to walls.
Specifications listed in the Energy Efficiency report to take precedence over these notes.

Stair Note

Stairs and balustrades to comply with NCC. Balustrade to be a minimum 1m high with a maximum gap of 125mm. Floors over 4m must not facilitate climbing between 150mm and 760mm for balustrades to stairs. Minimum stair clearance 2.0m measure from toe of nosing. Stairs must comply with the BCA for slip resistance. Builder/stair manufacturer to check stair compliance prior to stair installation. If there are issues with height, contact designer as soon as possible.

Keynote Legend

acc ducted	air-conditioning condenser ducted system
dry	dryer - by owner
hws	hot water system
wm	washing machine - by owner



Ground Level

1:150

Area - Dwelling 01...

Ground Floor	73 m²
First Floor	115 m²
Garage	39 m²
Porch	3 m²
Alfresco	17 m²
Balcony	3 m²
Grand total	251 m²

Area - Dwelling 02...

Ground Floor	73 m²
First Floor	115 m²
Garage	39 m²
Balcony	3 m²
Porch	3 m²
Alfresco	17 m²
Grand total	251 m²

DA Issue



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QBCC: 15078717 ACN: 136 645 700

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Real Property Description		
Lot No:	18	Area: 624m²
Plan No:	RP54421	
Ward:	BULUMBA	
County:	STANLEY	
Authority:	BCC	

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6	09.10.19	DA Issue	

Drawn By
AT
AT
AT
AT
Steven

Project:
Dual Occupancy
for
Amoeba Infinity Pty Ltd
at
60 Jamieson Street, Bulimba

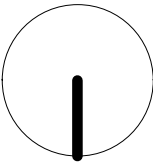
Drawing Title:
Ground Floor Plan

Page No:
100

Revision:
F

Job No:
19044

Scale at A3:
1:150
Checked:
SF
Wind Rating:
N2 (W33N)



LODGED

21/10/2019

BCC DS

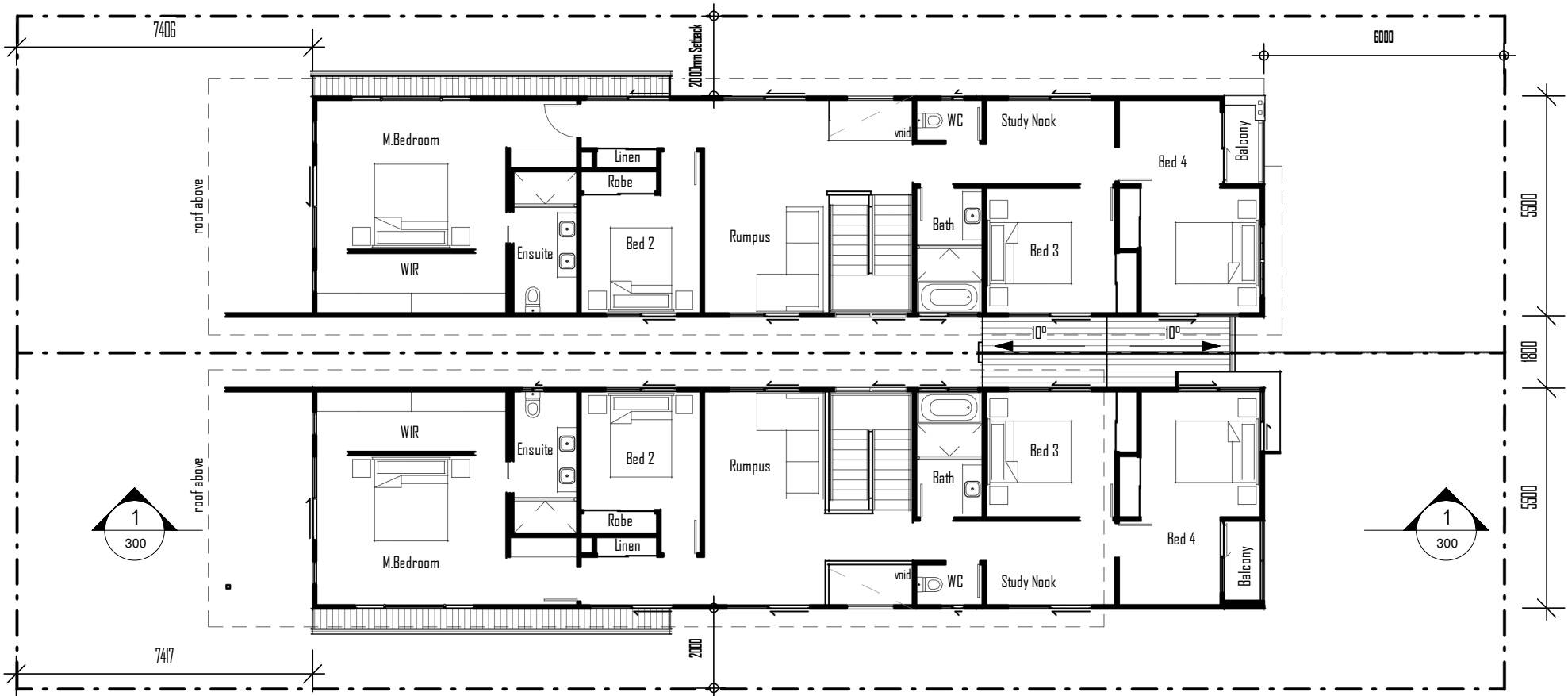
Insulation Note

CSR Bradford R3.0 bulk insulation or equivalent to roof spaces above ceiling.
Sarking required below roof sheeting or tiles.
CSR Bradford R2.0 bulk insulation or equivalent membrane to walls.
Specifications listed in the Energy Efficiency report to take precedence over these notes.

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Keynote Legend



First Level
1 : 150

Area - Dwelling 01...	
Ground Floor	73 m²
First Floor	115 m²
Garage	39 m²
Porch	3 m²
Alfresco	17 m²
Balcony	3 m²
Grand total	251 m²

Area - Dwelling 02...	
Ground Floor	73 m²
First Floor	115 m²
Garage	39 m²
Balcony	3 m²
Porch	3 m²
Alfresco	17 m²
Grand total	251 m²



ELEVATE

DESIGN STUDIO

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QBCC: 15078717 ACN: 136 645 700

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Real Property Description		
Lot No:	18	Area: 624m²
Plan No:	RPS4421	
Ward:	BULIMBA	
County:	STANLEY	
Authority:	BCC	

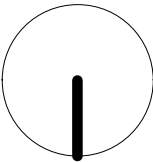
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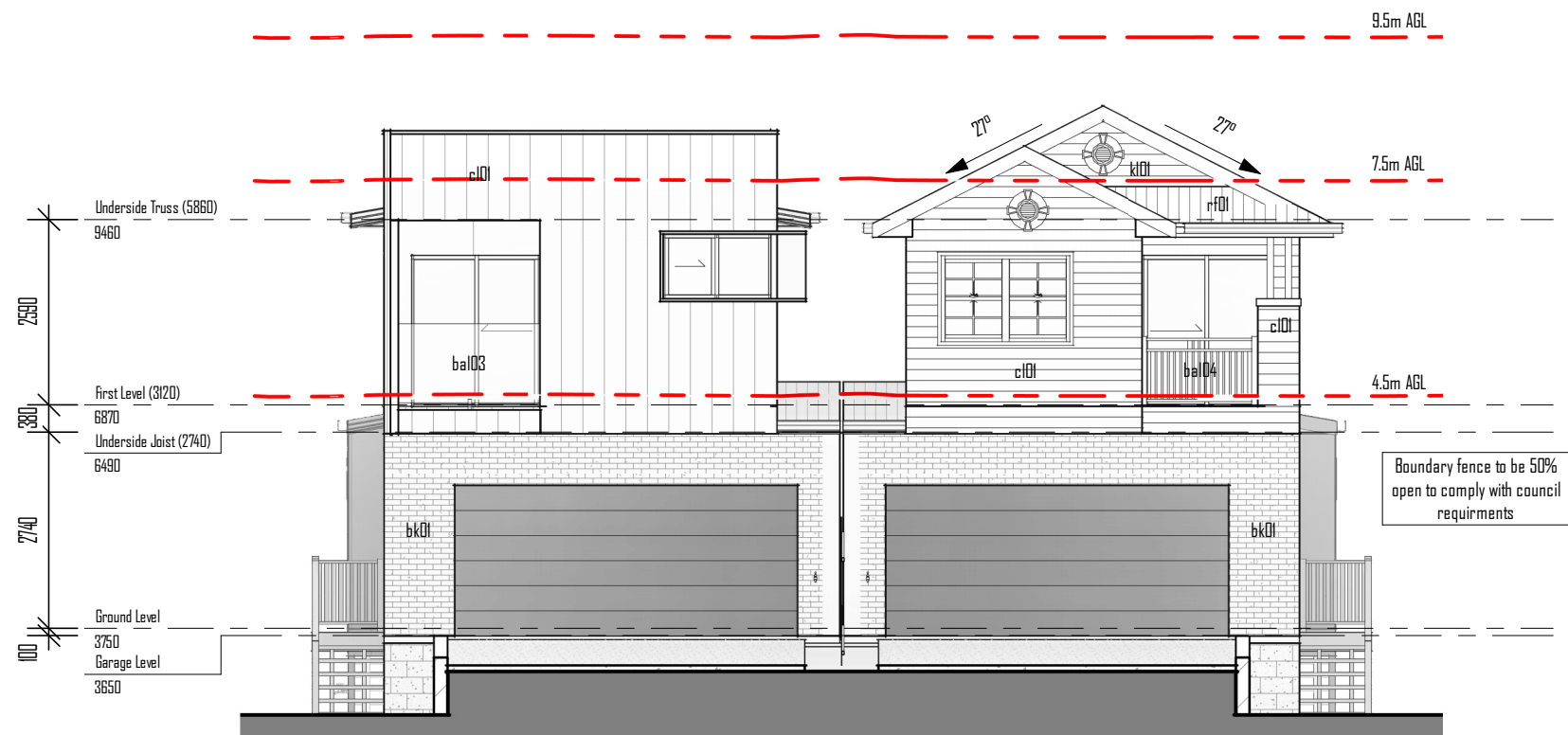
Drawn By	AT	Project	Dual Occupancy
	AT		for
	AT		Amoeba Infinity Pty Ltd
	AT		at
	Steven		60 Jamieson Street, Bulimba

Drawing Title:		
First Floor Plan		
Page No:	Revision:	Job No:
101	F	19044

Scale at A3 :	
1 : 150	
Checked:	SF
Wind Rating:	N2 (W33N)

DA Issue





Front Elevation
1 : 100

General Cladding Note

All claddings to be fixed as per manufacturer's manual. Refer designer for any queries.

Ceiling/Soffit Fixing Note

For rafters/trusses at > 600 crs fix to battens at 600 crs 32x45 MGPI0 or stramit 22x34 ceiling batten or equivalent. For rafters/trusses at 600 crs fix directly to u/s rafter/truss.

LVL/Softwood Exposure Note

All untreated softwood timbers used in roof framing, are to be fully clad.

Insulation Note

CSR Bradford R3.0 bulk insulation or equivalent to roof spaces above ceiling. Sarking required below roof sheeting or tiles.
CSR Bradford R2.0 bulk insulation or equivalent membrane to walls.
Specifications listed in the Energy Efficiency report to take precedence over these notes.

Keynote Legend

bal03	selected glass balustrading as per specification. minimum ncc req. to be met
bal04	selected timber balustrading as per specification. minimum ncc req. to be met
bk01	brick veneer - face brick
bl03	190 block wall - render and paint finish
c101	lightweight cladding. refer to specification for selected profile and selected colour
c102	lightweight cladding. refer to specification for selected profile and selected colour
kl01	kliplak roof sheeting - colorbond finish
r101	metal roof sheeting. refer to specification for profile details and selected colour



Side (Dwelling 1 Left) Elevation
1 : 100

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21/10/2019
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ELEVATE

DESIGN STUDIO

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Drawn By
AT
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AT
Steven

Project
Dual Occupancy
for
Amoeba Infinity Pty Ltd
at
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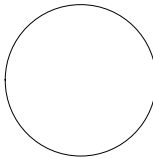
Drawing Title:
Elevations
Page No:
200

Revision:
F

Job No:
19044

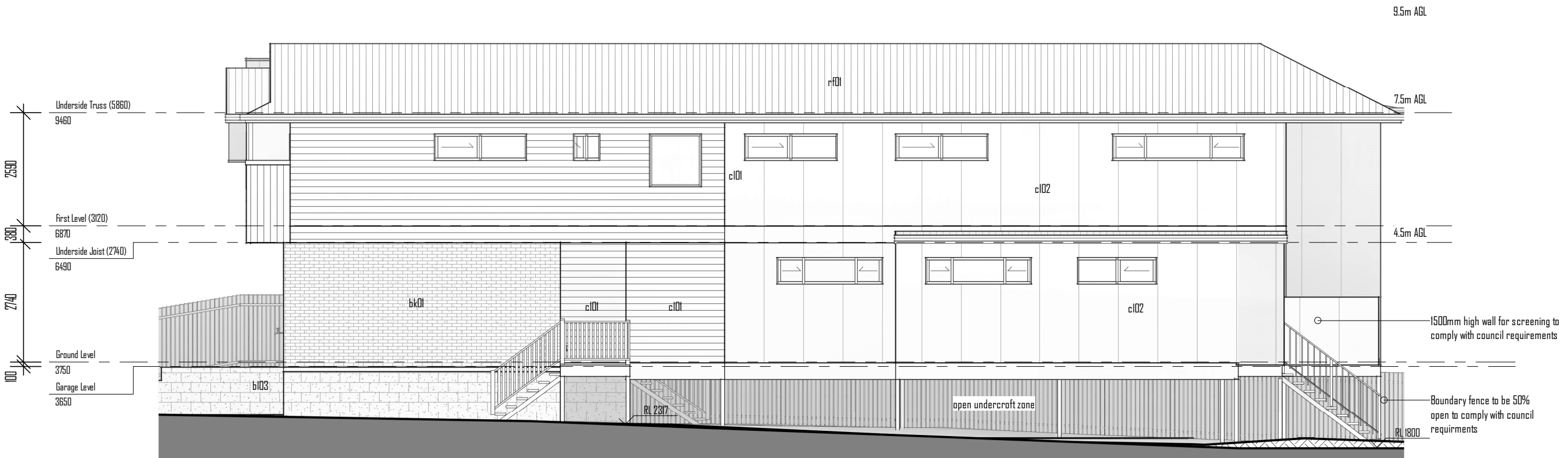
Scale at A3 :
1 : 100
Checked:
SF
Wind Rating:
N2 (W33N)

DA Issue





Rear Elevation
1 : 100



Side (Dwelling 2 Right) Elevation
1 : 100

General Cladding Note

All claddings to be fixed as per manufacturer's manual. Refer designer for any queries.

Ceiling/Soffit Fixing Note

For rafters/trusses at > 600 c/s fix to battens at 600 c/s 32x45 MGP10 or stramit 22x34 ceiling batten or equivalent. For rafters/trusses at 600 c/s fix directly to u/s rafter/truss.

LVL/Softwood Exposure Note

All untreated softwood timbers used in roof framing, are to be fully clad.

Insulation Note

CSR Bradford R3.0 bulk insulation or equivalent to roof spaces above ceiling. Sarking required below roof sheeting or tiles.
CSR Bradford R2.0 bulk insulation or equivalent membrane to walls.
Specifications listed in the Energy Efficiency report to take precedence over these notes.

Keynote Legend

bk01	brick veneer - face brick
bk03	190 block wall - render and paint finish
cl01	lightweight cladding. refer to specification for selected profile and selected colour
cl02	lightweight cladding. refer to specification for selected profile and selected colour
rf01	metal roof sheeting. refer to specification for profile details and selected colour

LODGED

21/10/2019

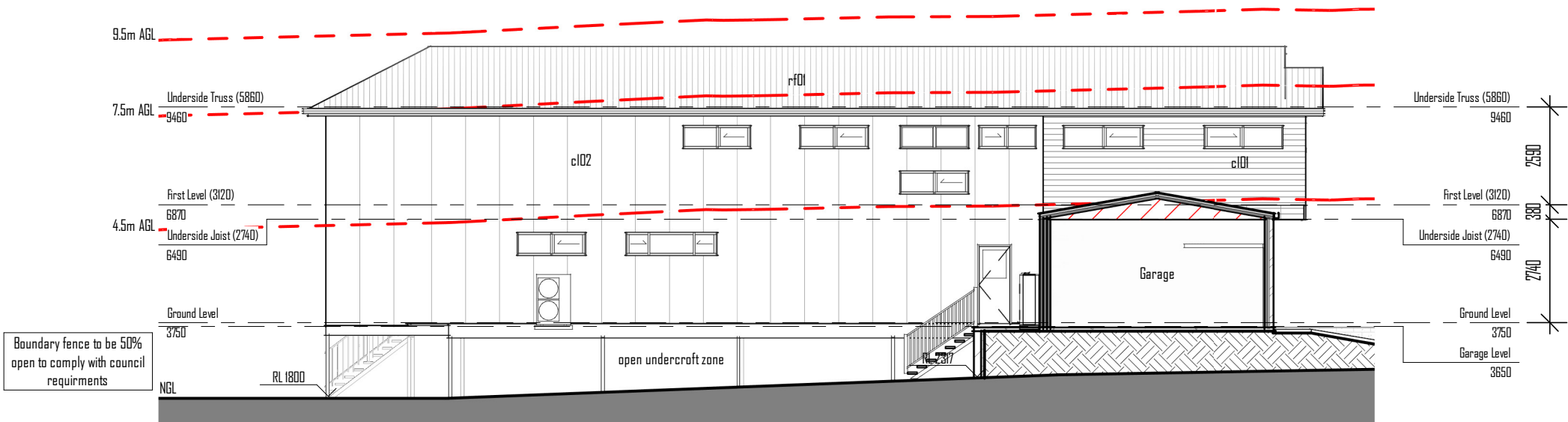
BCC DS

DA Issue



Side (Dwelling 1 Right) Elevation

1:150



Side (Dwelling 2 Left) Elevation

1:150

General Cladding Note

All claddings to be fixed as per manufacturer's manual. Refer designer for any queries.

Ceiling/Soffit Fixing Note

For rafters/trusses at > 600 c/s fix to battens at 600 c/s 32x45 MGPI/D or strait 22x34 ceiling batten or equivalent. For rafters/trusses at 600 c/s fix directly to u/s rafter/truss.

LVL/Softwood Exposure Note

All untreated softwood timbers used in roof framing, are to be fully clad.

Insulation Note

CSR Bradford R3.0 bulk insulation or equivalent to roof spaces above ceiling. Sarking required below roof sheeting or tiles. CSR Bradford R2.0 bulk insulation or equivalent membrane to walls. Specifications listed in the Energy Efficiency report to take precedence over these notes.

Keynote Legend

cl01	lightweight cladding. refer to specification for selected profile and selected colour
cl02	lightweight cladding. refer to specification for selected profile and selected colour
rfd1	metal roof sheeting. refer to specification for profile details and selected colour

LODGED
21/10/2019
BCC DS

DA Issue

LODGED

21/10/2019

BCC DS

General Cladding Note

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Ceiling/Soffit Fixing Note

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LVL/Softwood Exposure Note

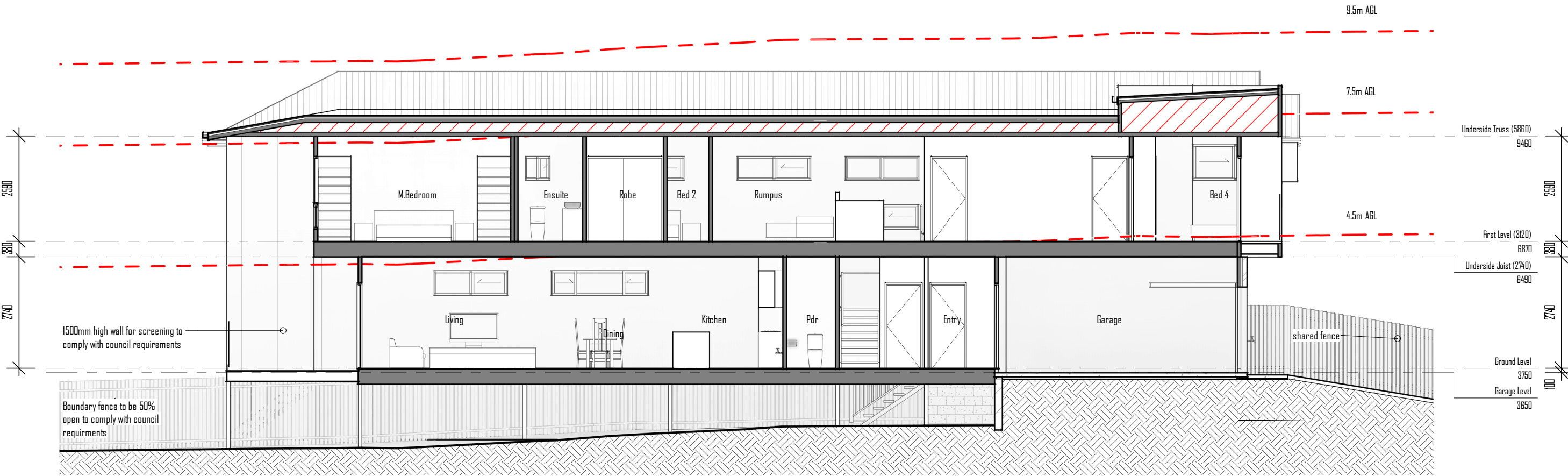
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Specifications listed in the Energy Efficiency report to take precedence over these notes.

SLAB AND FOOTINGS BY ENGINEER

Keynote Legend



Typical Section

1 : 100



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County:	STANLEY		
Authority:	BCC		

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Drawn By
AT
AT
AT
AT
Steven

Project
Dual Occupancy
for
Amoeba Infinity Pty Ltd
at
60 Jamieson Street, Bulimba

Drawing Title:
Sections
Page No:
300

Revision:
F

Job No:
19044

Scale at A3:
1 : 100
Checked:
SF
Wind Rating:
N2 (W33N)

DA Issue

